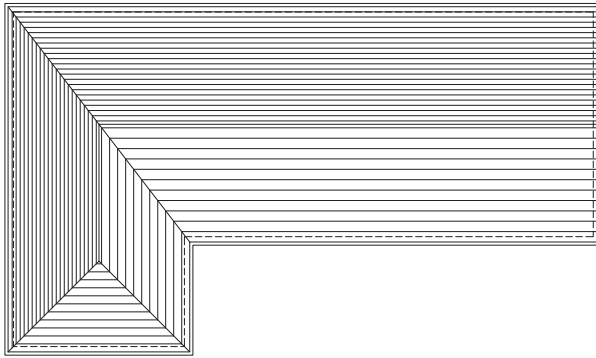
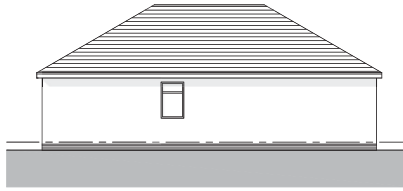


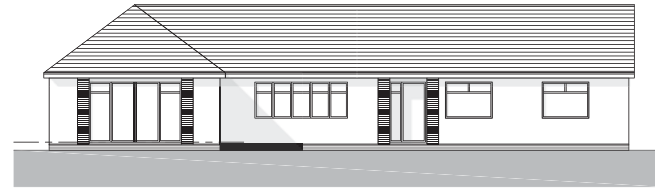
ITEM 2
6TH October 2020



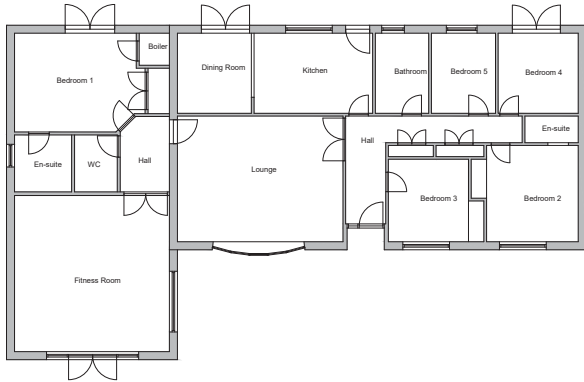
ROOF PLAN



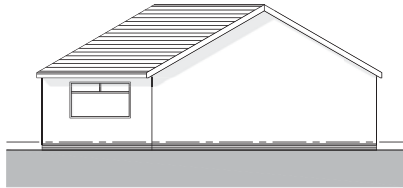
NORTH WEST ELEVATION, 1:50



SOUTH WEST ELEVATION, 1:50



GROUND FLOOR PLAN



SOUTH EAST ELEVATION, 1:50



NORTH EAST ELEVATION, 1:50

Demolition Notes:

Demolition contractor must visit site prior to commencement of demolition to confirm information shown on drawings is correct.

All information shown on this drawing is taken from digital survey drawings and the size and location of all elements shown are indicative only.

GENERAL

- The demolition works shall be carried out in accordance with B.S. 6187:2001, Code of Practice for Demolition, and the Health and Safety at Work Act 1974, The Buildings (Operations) (Scotland) Regulations 1996, The Control of Asbestos at Work Regulations 1986, B.S. 5873, Code of Practice for access and working scaffolds and special scaffold structures in steel and B.S. 5874, Code of Practice for temporarily installed suspended scaffolds and access equipment.
- Any asbestos in the building shall be removed in accordance with the Control of Asbestos at Work Regulations 1986 and the Health and Safety Executive notes, to the satisfaction of the Contract Administrator (CA), Planning Supervisor and Environmental Health Dept of the local authority.
- The site shall be left in a safe condition at the close of each day's operations.
- At completion of demolition works voids shall be upfilled with approved selected fill free of all organic material, roiled and compacted in layers not exceeding 150mm thick.
- Any discrepancies encountered on site to be brought to the Contract Administrators attention immediately.
- The Contractor shall be held responsible for, and shall take the entire risk of work, including methods of execution and carrying out of shoring, scaffolding, fans, protection etc and other temporary works. No instructions or approval by the CA regarding the temporary works or method of execution shall in any way relieve the Contractor of any of his overall responsibility.

- The Contractor shall fully design all necessary temporary propping, shoring or other temporary works. Prior to the commencement of works, the Contractor shall submit his proposed sequence and method of operation and temporary works proposals to the CA for his approval. Works shall not commence until the CA's approval has been received. Such approval shall not relieve the Contractor of any of his obligations. The sequence of operations adopted by the Contractor shall ensure that at all times the stability of the structure and adjoining structures is maintained.
- The Contractor's method of operation, sequence of operations and temporary works proposals shall take full cognisance of the existing condition and nature of the structure.
- The Contractor shall prior to the commencement of the works ensure that he has issued all necessary notices and undertaken the necessary discussions with the relevant Statutory Authorities.
- In general, during all dismantlings and demolition, every possible means and the greatest precautions shall be taken by the Contractor to ensure that no injury or damage is caused by the operations to personnel or the adjoining buildings, existing building or new parts of the work.
- All reasonable precautions are to be taken to avoid unnecessary noise and vibration. The Contractor shall, at all times, comply with the B.S. 5228 Noise Control on Construction and Open Sites and Section 60 of the Control of Pollution Act 1974.
- Site staff responsible for the supervision and control of the demolitions shall have a sound knowledge of the principles of building construction and demolition and shall be experienced in this type of work and demolition of the type of structures present within the site.
- The Contractor shall prevent debris from overtopping any part of the structure or access scaffolding.

- All works shall be carried out in such a manner as to ensure the safety of the public and to cause no nuisance and as little inconvenience as possible to them and to the adjoining owners.
- The Contractor shall take particular care when working at height. Compliance with well-established safety procedures and statutory regulations is essential combined with the proper use of sound equipment and the adequate training and supervision of those who use the equipment, harnesses etc.

Revisions
Status
PLANNING / BUILDING WARRANT

Client
Clyde Valley Joiners Ltd

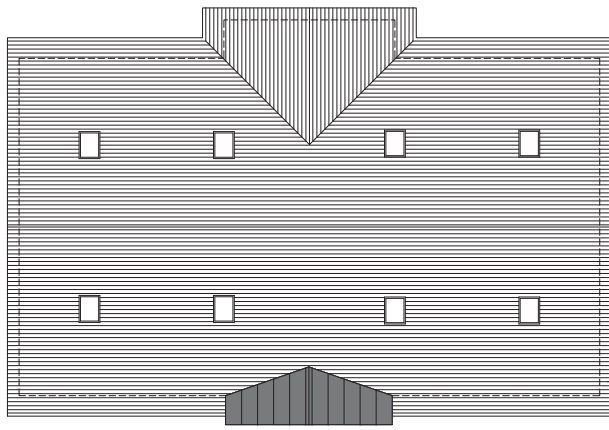
Project
**Proposed Dwelling
Culhill Road,
Bargeddie, Glasgow**

Title
**Floor Plans and Elevations
As Existing (to be Demolished)**

Scale	Size	Date	Drawn	Checked
1:100	A1	21.06.18	JDF	SA



Project No.	Drawing No.	Rev.
18026	01-001	A



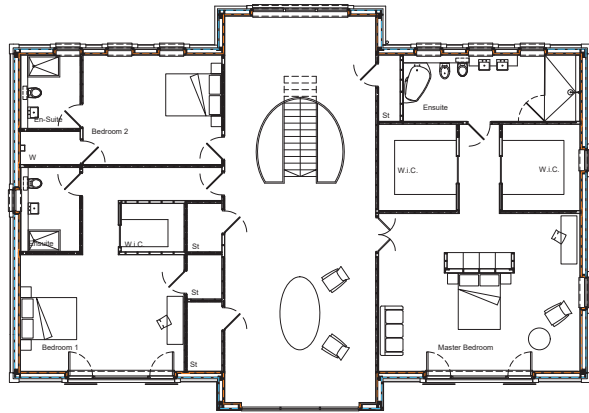
ROOF PLAN



EAST ELEVATION

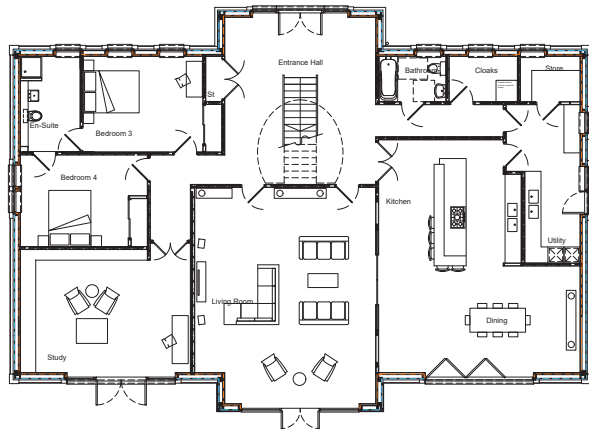


SOUTH ELEVATION



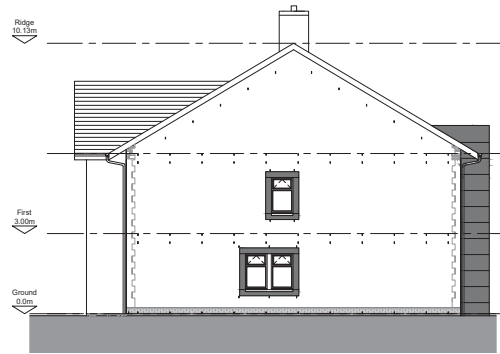
FIRST FLOOR PLAN

Area : 206m² / 2217ft²



GROUND FLOOR PLAN

Area : 240m² / 2583ft²
Total : 446m² / 2800ft²



WEST ELEVATION



NORTH ELEVATION

MATERIAL SCHEDULE

ELEMENT	MATERIAL	COLOUR
Roof	: Slate effect roof tiles	Dark Grey
External walls	: Acrylic polymer render	White
	: Zinc Cladding	Black
	: Natural stone	
Windows / Doors	Polyester powder coated composite windows	Black
Gutters & RWP	uPVC	Black
	Facias & Soffits	uPVC

Notes:
Do not scale from this drawing. All dimensions to be checked on site prior to construction and any discrepancies reported to the Architect.
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Date	Description	By
H 18.02.20	Amended to clients comments	RM
F 26.02.19	Updated with client comments	JDF
E 06.02.19	Project revised	FS
D 30.07.18	Scale bar added	JDF
C 19.07.18	Floor to floor increased and gable elevations updated	JDF
B 17.07.18	Updated following further discussion with client. material schedule added.	JDF
A 12.07.18	Updated with client comments	JDF

Revisions
Status
PLANNING / BUILDING WARRANT

Client
Tony Lochran

Project
Proposed Dwelling
Culhill Road,
Bargeddie, Glasgow

Title
Floor Plans and Elevations
As Proposed

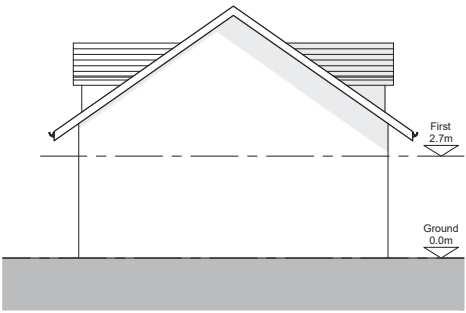
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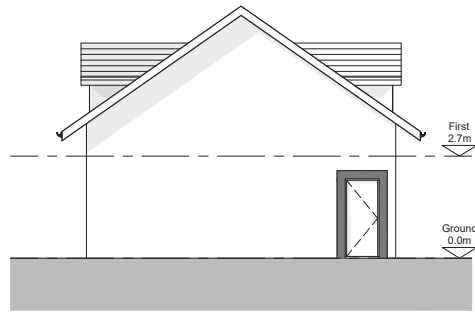
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www.allisonarchitecture.co.uk

Project No.	Drawn No.	Rev.
18026	02-001	H

Notes
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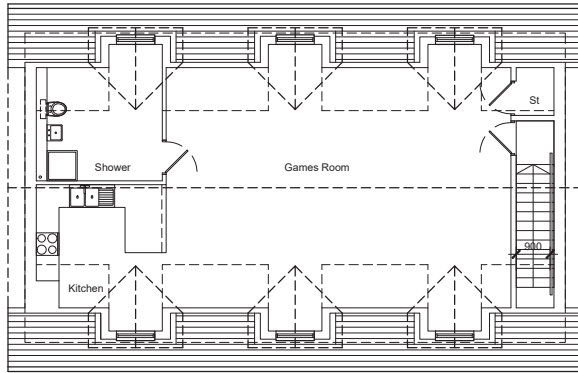
EAST ELEVATION, 1:50



WEST ELEVATION, 1:50

MATERIAL SCHEDULE

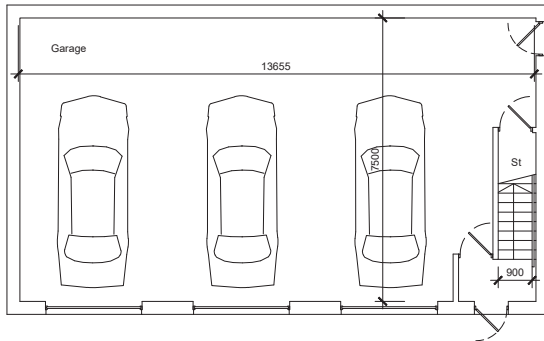
ELEMENT	MATERIAL	COLOUR
Roof	: Slate effect roof tiles	Dark Grey
External walls	: Acrylic polymer render	White
Windows / Doors	Polyester powder coated composite windows	Black
Gutters & RWP	uPVC	Black
Facias & Soffits	uPVC	Black



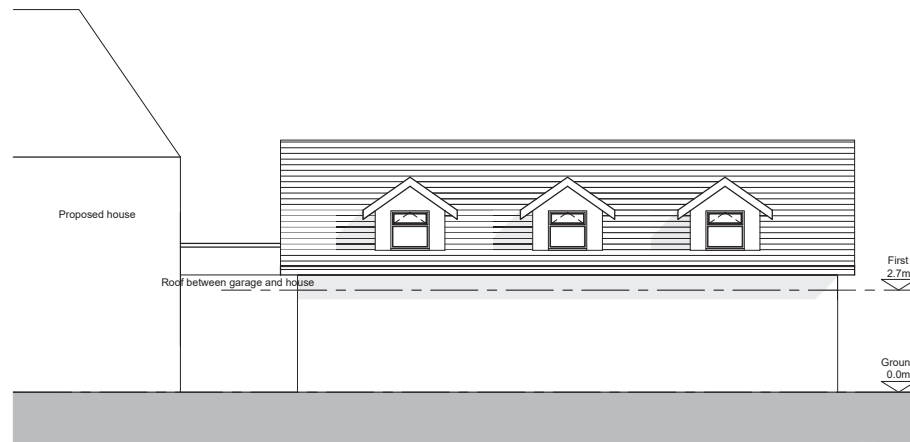
FIRST FLOOR PLAN



NORTH ELEVATION, 1:50



GROUND FLOOR PLAN



SOUTH ELEVATION, 1:50

Revisions	Status	Client
D 18.02.20 Amended to client comments	RM	
C 30.07.18 Scale bar added	JDF	
B 17.07.18 Material schedule added	JDF	
A 12.07.18 Updated with client comments	JDF	

Revisions
 Status
PLANNING / BUILDING WARRANT

Client
Tony Lochran

Project
**Proposed Dwelling
 Cuihill Road,
 Bargeddie, Glasgow**

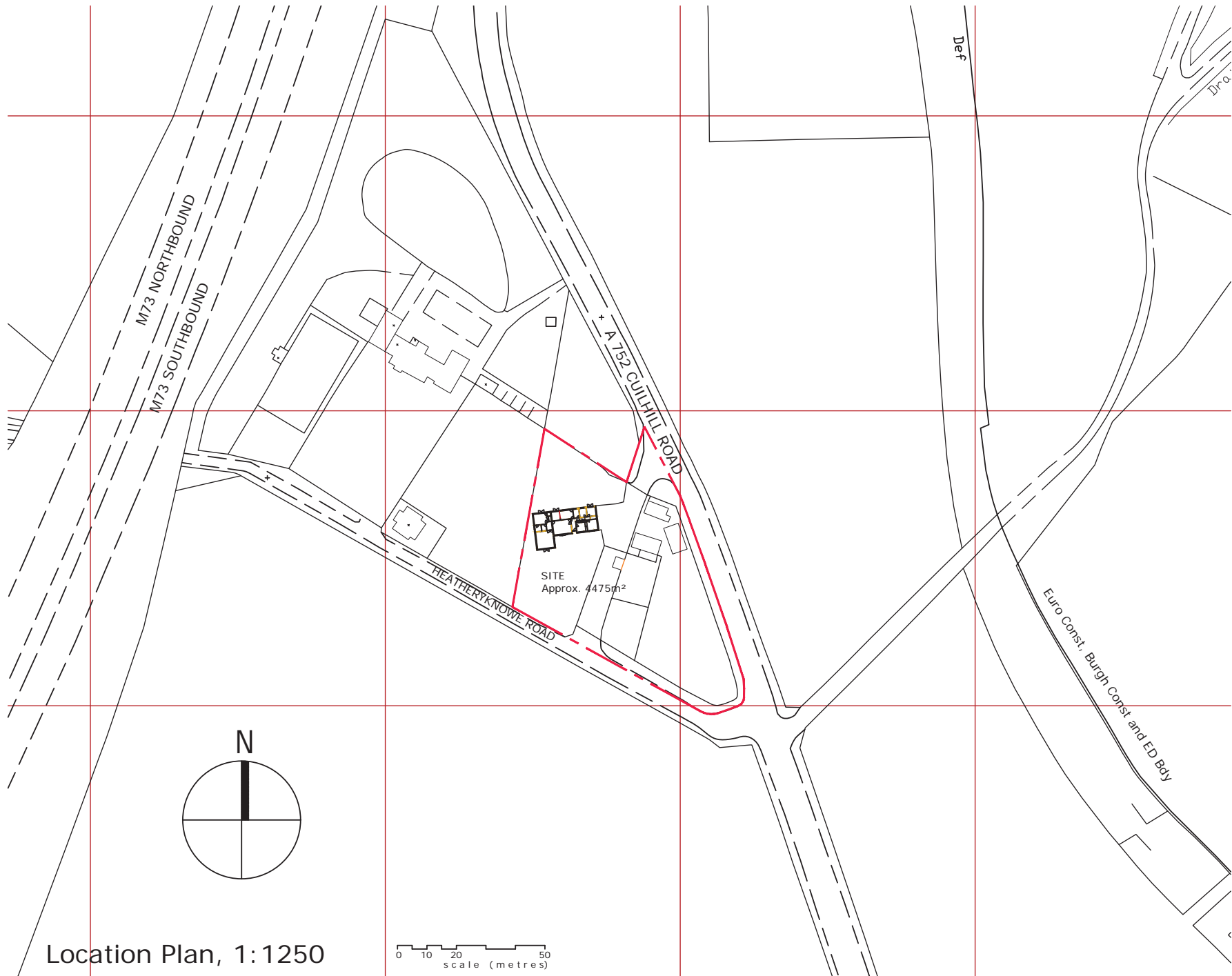
Title
**Garage Floor Plans & Elevations
 As Proposed**

Scale	Size	Date	Drawn	Checked
1:100	A2	26.06.18	JDF	SA



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Project No.	Drawing No.	Rev.
18026	02-002	D



Notes
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Revisions
 Status
PLANNING / BUILDING WARRANT

Client
Tony Lochran

Project
**Proposed Dwelling
 Cuilhill Road
 Bargeddie, Glasgow**

Title
Location Plan

Scale	Size	Date	Drawn	Checked
1:1250	A3	21.06.2018	JDF	SA

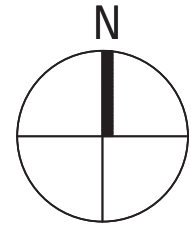
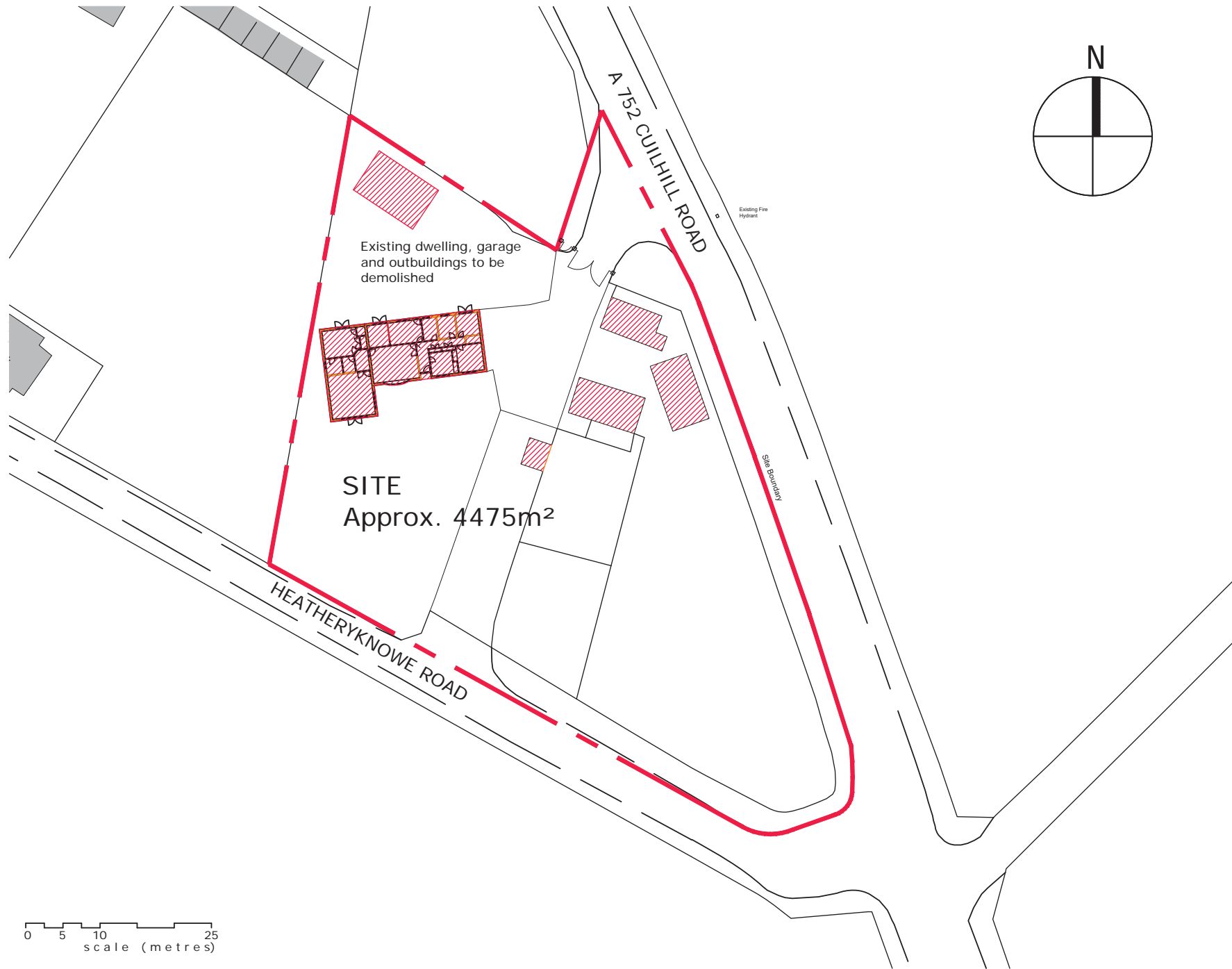


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Location Plan, 1:1250



Project No.	Drawing No.	Rev.
18026	00-001	-



Notes
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Existing Site Plan, 1:500

B	20.02.20	Outbuildings shown to be demolished	JDF
A	20.08.18	Existing gates shown	JDF

Revisions

Status
PLANNING / BUILDING WARRANT

Client
Tony Lochran

Project
Proposed Dwelling
Cuilhill Road
Bargeddie, Glasgow

Title
Site Plan As Existing

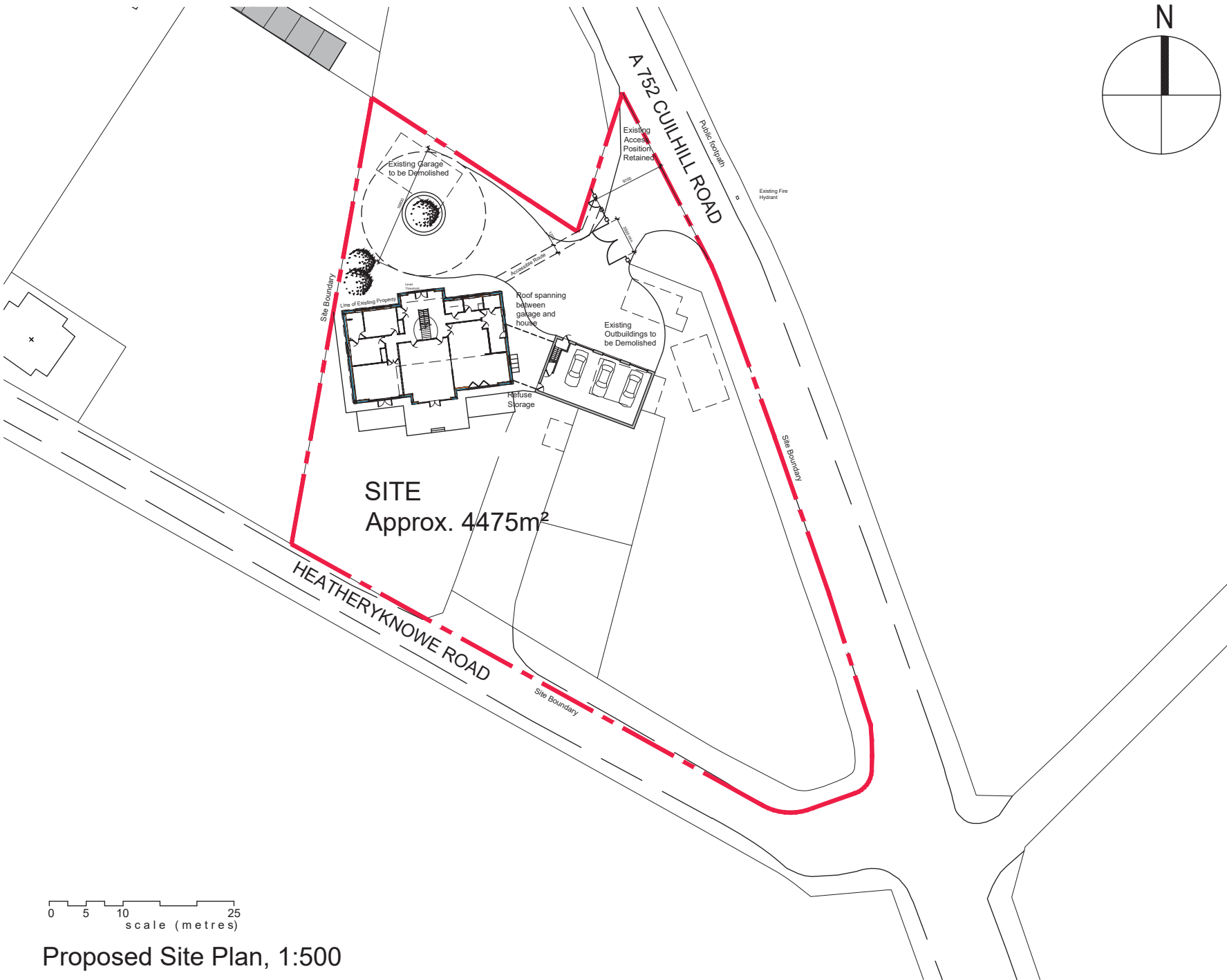
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1:500	A3	26.06.18	JDF	SA



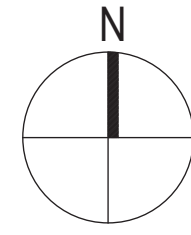
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Project No.	Drawing No.	Rev.
18026	00-002	B



Notes
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Proposed Site Plan, 1:500

D	17.02.20	Site layout amended to client comments	RM
C	07.02.20	Garage relocated, entranceway revised	RM
B	26.02.19	Accessible access route shown for Building Control, house layout updated	JDF
A	12.07.18	Updated with clients comments	JDF

Revisions
 Status
PLANNING / BUILDING WARRANT

Client
Tony Lochran

Project
**Proposed Dwelling
 Cuilhill Road
 Bargeddie, Glasgow**

Title
Site Plan As Proposed

Scale	Size	Date	Drawn	Checked
1:500	A3	26.06.18	JDF	SA



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Project No.	Drawing No.	Rev.
18026	00-003	D

